



ATLAS SAFETY & SECURITY DESIGN, INC.

June 9, 2026

Chris Collins PE
URBN Design Group
10800 Biscayne Blvd. Suite 935
Miami, FL 33161

RE: Pompano Beach Citi Center - CPTED/Public Safety Plan

Dear Mr. Collins:

SCOPE OF STUDY

Atlas Safety & Security Design Inc. has been retained to undertake a security and CPTED (crime prevention through environmental design) analysis of the **Citi-Center Center Courtyard** that is being considered for permitting by the City of Pompano Beach. This report evaluates the adequacy of proposed security measures, and recommends future security considerations to create a safe multi-family crime-free housing environment.

CPTED is part of the City of Pompano Beach Zoning Code Section 155.2415.D, which requires that new infrastructure be designed with security features that lower the risk and probability of crime and loss. The facility design elements should take into consideration and be consistent with the CPTED standards of care for natural surveillance, natural access control, territorial reinforcement, maintenance and management, and legitimate activity support.

The following review is part of the required submission to have CPTED security drawing **Public Safety** plan, and a **Security Narrative** report explaining the specifications and locations of any specific security features or recommendations.

CPTED principles, performance standards, and strategies have been successfully applied to this housing project. The design development drawings have been reviewed to identify and incorporate CPTED design features, which reduce opportunities for criminal activity to occur. The effectiveness of CPTED is based on the fact that criminals make rational choices about their potential targets. Through use of CPTED principles and strategies, the built environment can be designed and managed to ensure:

- (1) The greater the risk and likelihood of illegitimate users being seen, challenged, or caught; therefore, they are less likely they are to commit a crime at this location.
- (2) The greater the effort required the less likely opportunistic criminals are to commit a crime at this property.

- (3) The lesser the actual or perceived rewards, the less likely persons are to commit a crime at this property.
- (4) Opportunities for criminal activity are minimized by good design, and active management, and empowered residents.

This CPTED risk assessment includes a thorough review of the project design drawings, and evaluating each area using basic CPTED approaches and strategies. The consultant shall provide an assessment, and make recommendations (items for consideration) based on the overall building environment. Basic CPTED approaches include, but are not limited to, the following:

1. Natural Surveillance – The placement of physical features that maximize and facilitate visibility by the legitimate building users. This can be achieved by examining the surveillance features of the physical structure of the apartment buildings, common area spaces, parking lots and the surrounding grounds, including shrubbery, lighting, video surveillance systems, window placement, fencing, and other types of physical features.
2. Access Control – The use of design features to clearly define where people and vehicles enter and leave the site. Features include well-marked entrances and exits, landscaping plantings and sidewalk paths to guide people, and direct the desired flow of people. Access control uses real and symbolic barriers to reduce availability to unsupervised locations on the facility.
3. Territorial Reinforcement – Territoriality evaluates the public and private areas for clear delineations of space, expressions of pride or ownership, and the creation of a welcoming environment, through security layering. Territoriality determines the need to create or extend the “sphere of influence,” with the use of physical designs, landscaping, and ability to clearly distinguished public areas from private ones. Territoriality creates a sense of community, and promotes ownership with the residents.
4. Order Management – Property management plays a critical role in creating, promoting, and allowing a safe and secure living environment. CPTED considers staff’s responsiveness to minor unacceptable acts or incivilities, and the ability to provide operational recommendations that can be implemented that clearly state resident acceptable behaviors, and operational objectives. Management plays a strong role in the screening of residents with background checks, leasing agreements, and directing physical plant improvements in a timely manner.
5. Physical Maintenance – Assessing the repair and general upkeep of a defined space is very important in creating and sustaining a safe living environment. Recommendations for incorporating CPTED into the existing maintenance plan will help preserve property value, and make the property a safer place for the legitimate resident and their visitors. For example, maintenance addresses graffiti,

lighting, upkeep of windows and doors, fixing potholes, upkeep of stairways, maintaining the plantings and yard grooming, and make sure equipment is in working order.

6. Legitimate activity support – Having the provided spaces used as lawfully intended, by legitimate building users. Common area spaces are a good example of providing intended spaces for bar-b-q's, recreation, gym, clubhouse, or children play areas. These spaces are designed and desired to be used by residents, and deflect and deter outsiders, trespassers, or persons using these spaces for illegitimate or illegal purposes.

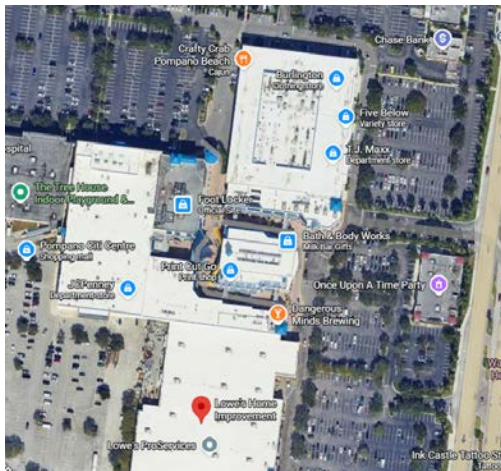
Thus, this report reflects a systematic examination of the Citi-Center Project architectural plans to determine the adequacy of security measures, identify security issues not addressed, and provide feedback from which to predict the effectiveness of proposed security measures.

INTRODUCTION

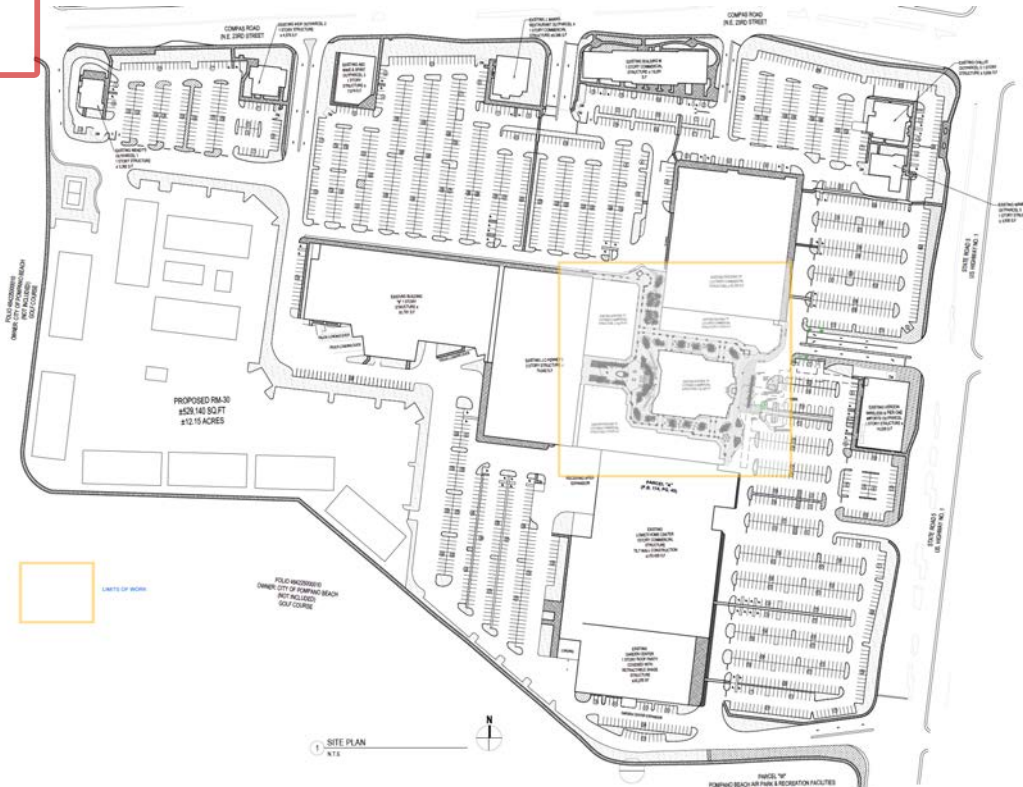
The Citi-Center courtyard is being placed on a choice piece of real estate at 1460 NE 23rd Street, in a multi-family residential zoned area in the City of Pompano Beach. There are no housing units planned for, only a center landscaped courtyard.

CPTED is part of the City of Pompano Beach building requirements, which requires that new infrastructure be designed with security features that lower the risk and probability, of crime and loss. The facility design elements should take into consideration, and be consistent with the CPTED standards of care and best practices, for natural surveillance, natural access control, territorial reinforcement, maintenance and management, and legitimate activity support strategies and approaches.

This report is part of the required submission to have a CPTED Public Safety Security Plan, and a security narrative explaining the crime analysis, risk assessment, and specifications of any specific security features, or recommendations



The Google earth map view shows the existing site commercial function.



The proposed courtyard location.

CRIME RISK ANALYSIS

In order to get a better understanding on the overall crime risk factor of the proposed development area, Atlas Safety & Security Design Inc. undertook a CAP (Crime Area Profile) Index analysis. This tool looks at the crime statistics from 2010 to 2021 in a one-mile radius around Citi-Center.

CAP Index's CRIMECAST™ products are derived from an advanced comprehensive data analysis evaluation system designed to accurately identify the risk of personal and property crimes at any location in the United States, Canada and the United Kingdom. CRIMECAST™ reports assist CAP's clients with ranking and comparing multiple locations, site selection, security resource allocation, litigation, and underwriting. The CAP Index score represents the overall risk of crime in that geographic area. *Crimes Against Persons* is a weighted average of Homicide, Rape, Robbery, and Aggravated Assault. *Crimes Against Property* is a weighted average of Burglary, Larceny and Motor Vehicle Theft. Census tracts are outlined in blue.

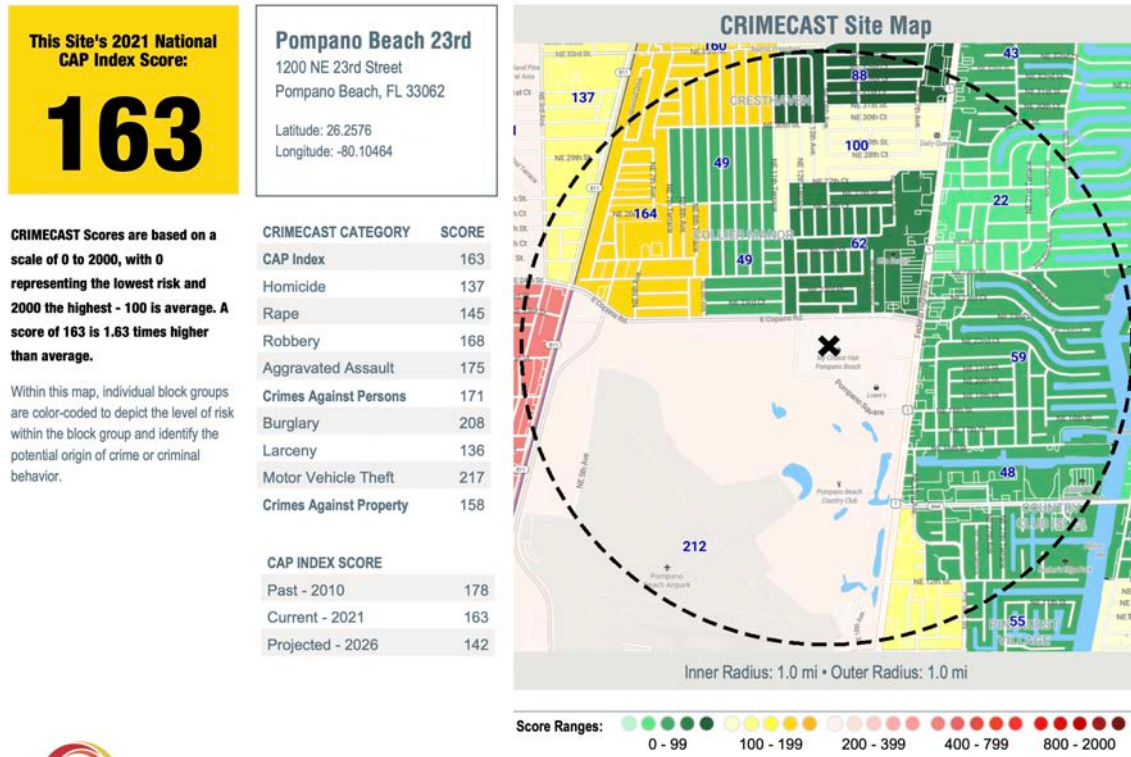
There are approximately 65,322 census tracts in the U.S. Each tract contains approximately 4,562 residents, with similar socio-economic backgrounds. CAP scores each tract alone to determine its risk of crime. Tracts receive a numeric score and coinciding risk shading. State scores compare the site to the average risk of the state in which it resides. County scores compare the site to the average risk of the County in which it resides. Past, Current and Projected crime scores are provided to allow for trending. National scores provide the risk at the site compared to the entire U.S., allowing

for the ranking and comparison to any other sites. All scores are based on a scale of 0 to 2000, with 0 representing the lowest risk, and 2000 the highest – 100 is *par* or *average*. An example of a score of 500 is 5 times higher than average, and a score of 25, means the risk is 1/4 the average.

MAX-1 Scoring Methodology: Site Map

Atlas Safety & Security Design, Inc.

CRIMECAST
BASIC REPORT



Creation Date: September 14, 2021
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In review of this location for a courtyard, the Crime Area Profile Risk Analysis (CAP Risk) Crime Cast Map has been pulled for the one-mile geographical area where project is being undertaken. The CAP Index score for 1460 NE 23rd Street in Pompano Beach, is **163**, which translates that the risk of crime in the mile radius around the property is **1 2/3 times the national average**. A 100 score is considered a national average rate of risk for crime. The CAP Risk CrimeCast report is designed to identify the risk of personal and property crimes at any location in the United States, derived from national and local police data, client loss reports, offender and victim surveys, economic data, housing and population data, and population mobility patterns. While, *any* location in South Florida is considered a higher risk than most of the United States, the number does suggest that the threat and vulnerability of the risk of theft, car theft, robbery, assault, is high enough to warrant reasonable security features, and plan for normal security industry standards and CPTED features. Multi-family residential housing rental apartment buildings are a high asset, target rich environment, and with a rental community, has a more transient vulnerable population. The area around the site is commercial and residential properties, and is in an overly distressed, high crime neighborhood.

Comparing our South Florida crime rates to the national average is always somewhat skewed. When you compare the numbers, and risk level, to what else is happening in *Broward County*, the numbers of the proposed site are average or par. The overall CAP Index relative of Citi-Center to Broward County is **97**, or par with the other areas of the county. Crimes against persons in context to Broward County crime is a CAP index of **97**, or about par with other parts of the Broward County, and crimes against property is **74**. The reason that crime is so low in this area is that one quarter of the geographical area is the golf course, which for obvious reasons, doesn't register any crime at all, skewing the results lower.

MAX-1 Scoring Methodology: Scores

Atlas Safety & Security Design, Inc.



This Site's 2021 National CAP Index Score:

163

Pompano Beach 23rd

1200 NE 23rd Street
Pompano Beach, FL 33062

Latitude: 26.2576
Longitude: -80.10464

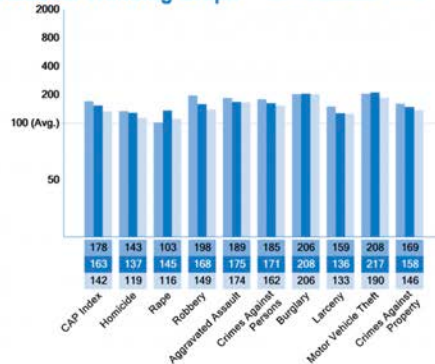
National

CRIMECAST CATEGORY	THIS SITE'S SCORES		
	PAST 2010	CURRENT 2021	PROJECTED 2026
CAP Index	178	163	142
Homicide	143	137	119
Rape	103	145	116
Robbery	198	168	149
Aggravated Assault	189	175	174
Crimes Against Persons	185	171	162
Burglary	206	208	206
Larceny	159	136	133
Motor Vehicle Theft	208	217	190
Crimes Against Property	169	158	146

State

CRIMECAST CATEGORY	THIS SITE'S SCORES		
	PAST 2010	CURRENT 2021	PROJECTED 2026
CAP Index	139	125	108
Homicide	112	110	97
Rape	66	88	70
Robbery	164	137	121
Aggravated Assault	138	121	119
Crimes Against Persons	138	123	115
Burglary	114	112	113
Larceny	104	87	85
Motor Vehicle Theft	152	149	134
Crimes Against Property	108	98	91

National Trending Graph



CRIMECAST Scores are based on a scale of 0 to 2000, with 0 representing the lowest risk and 2000 the highest - 100 is average. A score of 163 is 1.63 times higher than average.

*County

CRIMECAST CATEGORY	THIS SITE'S SCORES		
	PAST 2010	CURRENT 2021	PROJECTED 2026
CAP Index	113	97	84
Homicide	90	83	73
Rape	57	86	68
Robbery	130	100	88
Aggravated Assault	117	97	95
Crimes Against Persons	116	97	91
Burglary	87	79	78
Larceny	79	68	67
Motor Vehicle Theft	114	105	98
Crimes Against Property	82	74	69

*Broward County, FL



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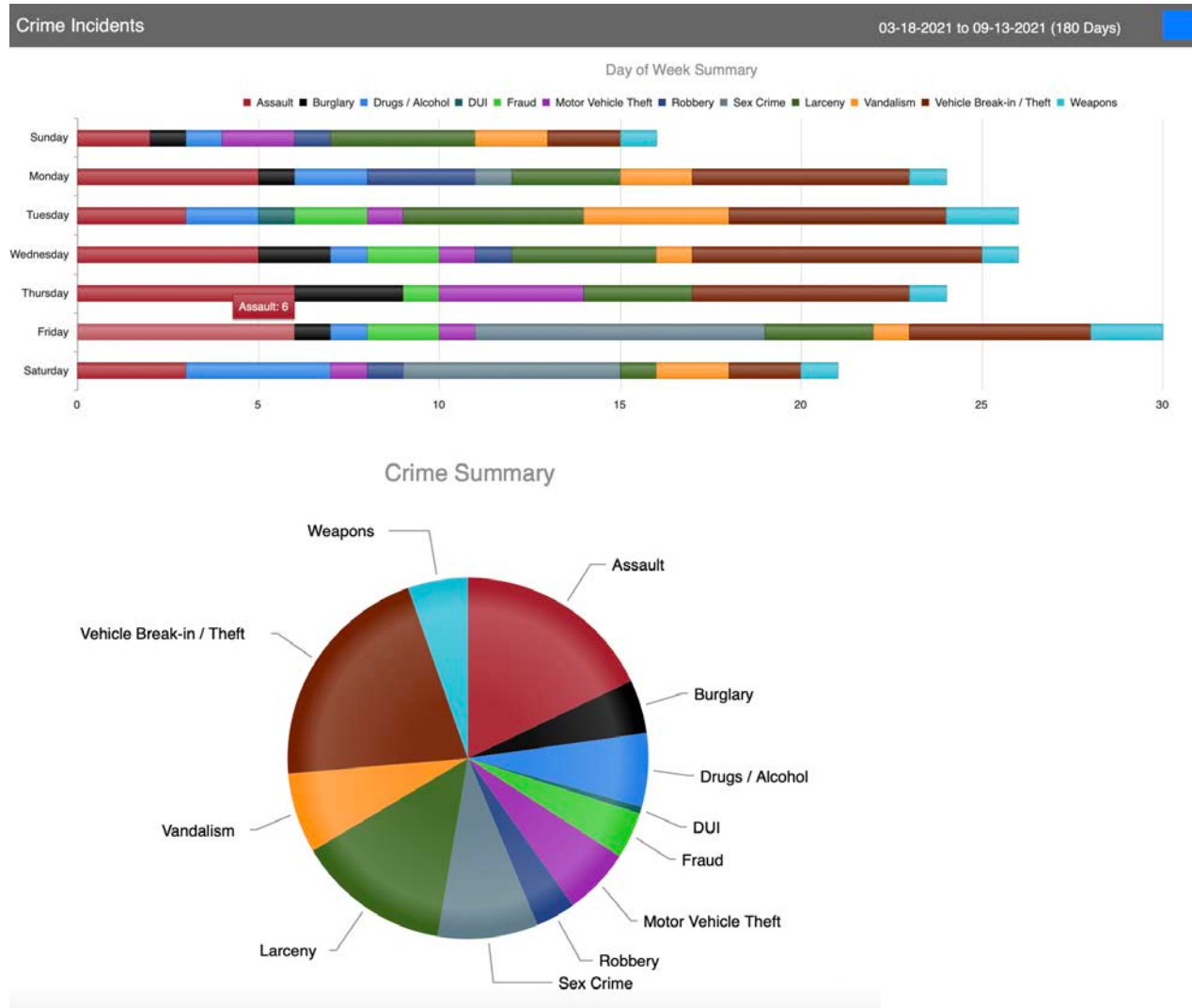
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With such close proximity to opportunistic type crime areas, and the attractive magnet of a new residential affordable housing, suggests that this facility is going to require CPTED, and security design considerations, to mitigate that potential risk and vulnerabilities. In conclusion, the risk of crime in the commercial plaza is moderate for Broward County, and the proximity to major roadways like Copans Road and Federal Highway, puts the project at higher risk from attracting criminals to this residential development. As a result, ground floor security, good property management, screening of residents, and responsive architecture will require all reasonable security measures be considered to allow 1460 NE 23rd Street to be a safe and secure living environment.

In looking at the police incident reports for the last six months, a half-mile radius around the Citi-Center site reveals the profiles of crimes committed in the last year of 2021, as

shown in this **Crimemapping.com** analysis. The colors represent different types of crime, and the numbers indicate multiple incidents.

The crimes in this geographical area are summarized in the pie chart above, and bar chart below on which crimes occur by day of week.

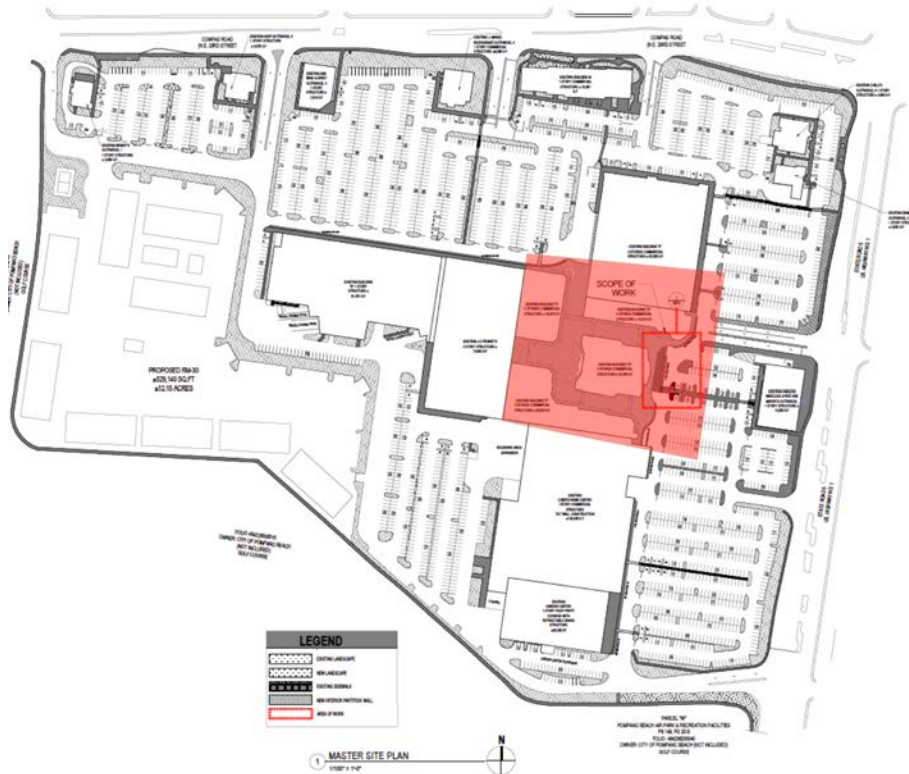


EXISTING SITE CONDITIONS:

The Citi-Center courtyard is going on partially developed acreage at 1460 NE 23rd Street, Pompano Beach. The typical threats that an open courtyard face is: robbery; trespass and loitering in and around the site: theft from the common area spaces; drug and gang related activity; assault on residents by outsiders, or their domestic partners; fire, and vandalism.

The Crime analysis for the area near the proposed development in Pompano Beach. reflects a relatively high crime area, composed of single-family home and apartment rental neighborhoods, and subject to serious threats and influences by the surrounding crime sources. The existing Citi-Center residential neighborhood has crime challenges of trespass, loitering, drug activity, and illegal dumping. In addition, the close proximity to the main highways, provides easy routes for escape from law enforcement. As with all

Multi-family apartment buildings, the facility perimeter is vulnerable to anyone who desires to come onto the property, unless there is a clear physical boundary that deters and deflects these potential trespassers. Therefore, to limit the exposure and minimize the risk, basic CPTED approaches and strategies of access control, surveillance, territoriality/ boundary definition, maintenance and management, and legitimate activity support, will be employed to deflect and deter those individuals, that come onto the property with criminal intentions.



The proposed courtyard is located proxemic to other rental apartment communities and single-family homes, and a golf course.



Existing views of the existing Citi-Center commercial neighborhood are shown.



The Golf Course is to the West, and the commercial plaza is being repurposed for this development.



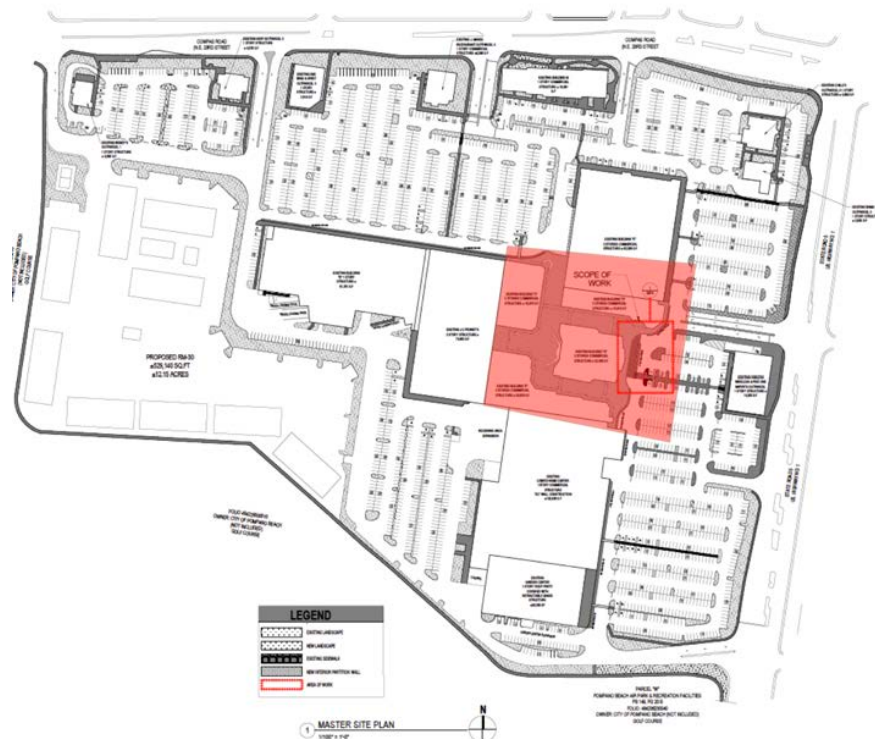
The surrounding access streets are Federal Highway as shown above and Copans Rd.

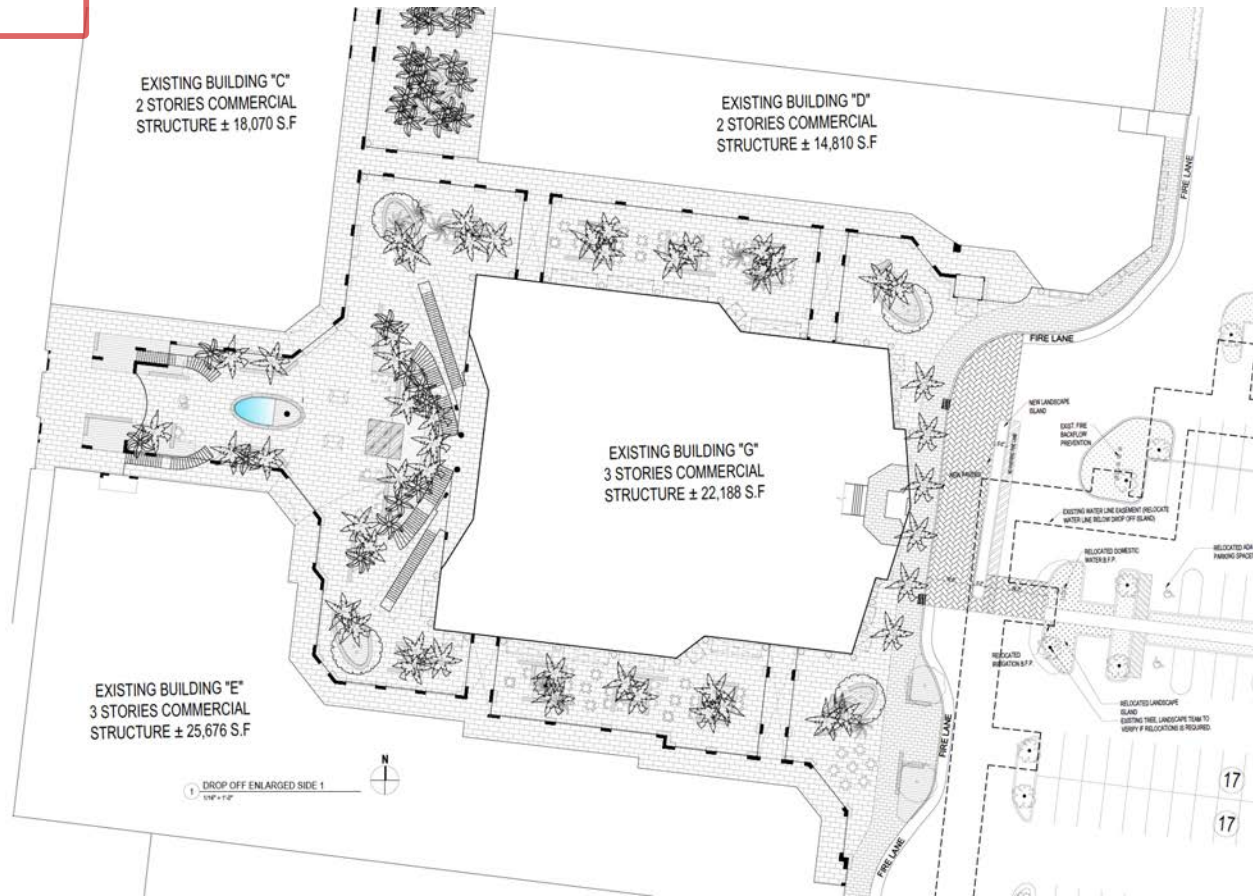


The existing plaza roadways will be used for apartment building placement.

Site CPTED and Building Security considerations:

The site plan shows the primary entrances/exits for the property being off of NW 17th Avenue. For the purposes of this project, the ten buildings of the Citi-Center are being planned for using CPTED design features. The site plan rendering below shows the siting of the ten apartment buildings, and resident/visitor parking.





The Site plan shown above, reflect the planned use of the real estate. Planned pedestrian access is from the other commercial and residential buildings. The siting of the buildings in a courtyard format will provide eyes on the street and parking lots, and exert a level of influence to observe and deter criminal activity.

Having well-defined functional entry points to the courtyard is critical to maintaining control of the site. The entire area is properly illuminated, and under video surveillance.

CPTED PRINCIPLE #1 NATURAL / MECHANICAL SURVEILLANCE

There are windows in the apartment building on all four sides that facilitate natural surveillance by the residents of the common use areas, parking and grounds. Residents can observe visitors with natural surveillance from their windows, balconies, and patio doors, entering from the street level into the parking lots, and interior courtyard entrances. Wide and well-lit courtyards provide observation from vantage points in the buildings and common area spaces. Mechanical video surveillance will supplement natural surveillance for residents and staff.



① SPA ELEVATION 6
300'-110'



② SPA ELEVATION 7
300'-110'



① SPA ELEVATION 4
300'-110'



② SPA ELEVATION 5
300'-110'



① SPA ELEVATION 1
300'-110'



② SPA ELEVATION 2
300'-110'

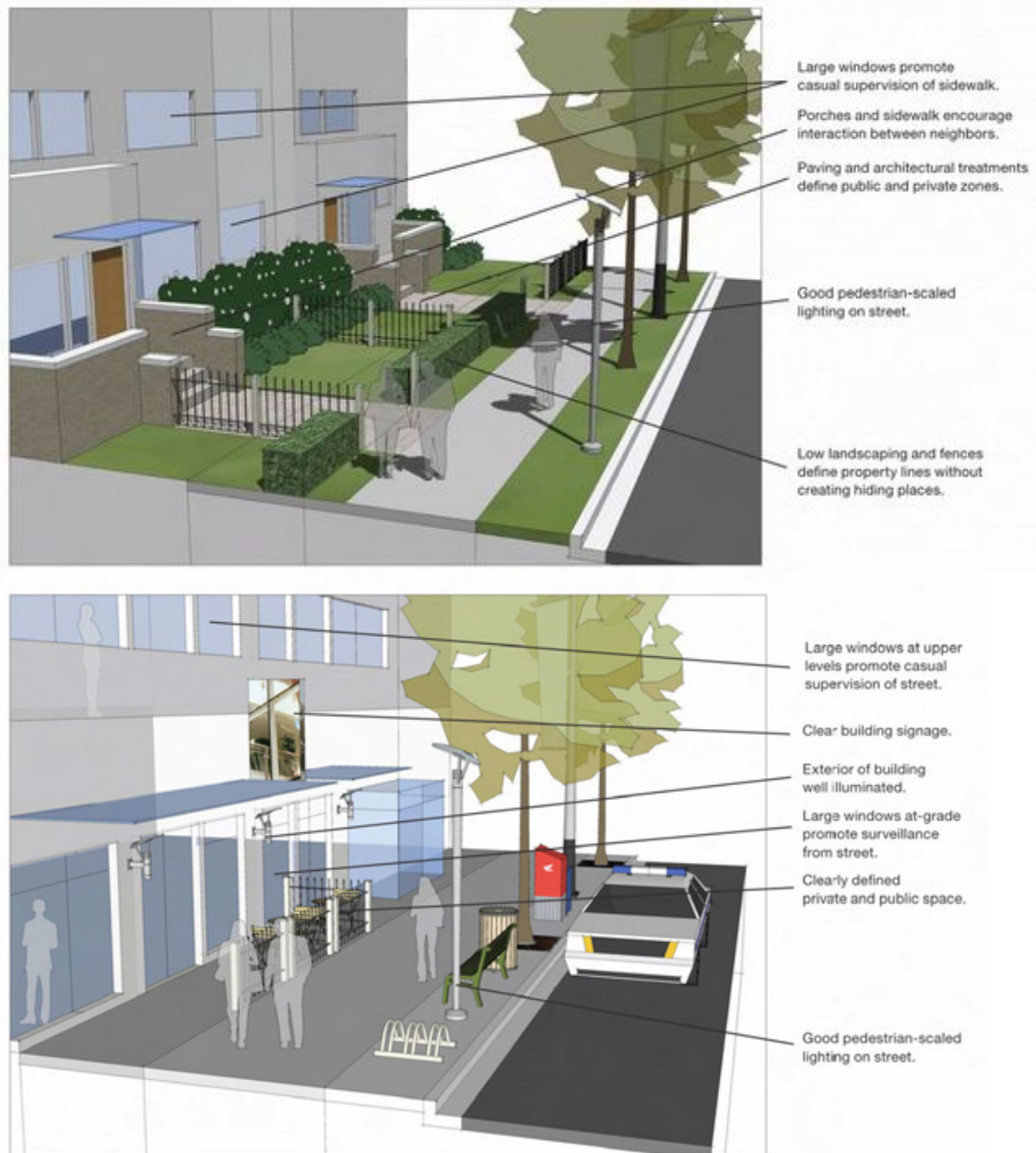


③ SPA ELEVATION 3
300'-110'

NOT END CONSTRUCTION - DOWNGRESS SET

The street level elevations above demonstrate plenty of opportunities for natural surveillance by the residents and staff, along with a strong exterior building perimeter, that demonstrates territoriality to direct persons into the buildings at well-defined designated points. The elevations of the development illustrate the availability of natural surveillance from apartment windows, patio doors, and balconies that look outward to the neighborhood sidewalks and residential community, along with the open common area spaces that comprise the proposed development. The building height of four stories is low enough, that residents will be able to see who is coming and going, easily and unobstructed.

The CPTED goals are shown as:



The diagrams above illustrate the benefits and goals of good design and CPTED.

Mechanical surveillance - Video surveillance is important in monitoring areas where supervision is needed, or being able to detect persons or activity when or where it should not be occurring. There will be video surveillance at the vehicle entrances, the parking lots, the trash chute room, lobbies, common use pedestrian paths, gym, leasing office, and building perimeter. Motion activated sensors and infrared cameras may be used on the perimeter boundaries: to detect movement; and record any activity in what should otherwise be quiet areas; and observe activity that would be unexpected or unusual. It is proposed that all video will be recorded, and observable in real time if a monitoring service is used. The system should have local monitoring in the management office, and also be remotely monitored by a professional security company.

The video system that is suggested is something like the [Unifi video high definition IP Video](#) surveillance System with advanced hardware and optics for 1080p HD video. The cameras are in secured casings that are weather proof and vandal resistant. The range on the selected cameras exceed 50 feet with total clarity, and the specs show the view can go as far as 89 feet with good resolution. The exterior cameras watching the parking areas and grounds can be mounted on the building walls 25 feet off the ground, so they give good angles of viewing, and are not subject to tampering, or vandalism. The lighting plan illuminates the areas being viewed with excellent resolution. The cameras should be able to use video analytics to make them smart, high resolution, and be observant of unusual events occurring along the perimeter of the building and property.

Mechanical surveillance will use state of the art video surveillance systems, with smart analytics to recognize motion in the driveway, and entrance foyers. Video will be recorded and stored for at least 30 days of records, and be downloadable to law enforcement for forensic evidence, if ever the needs arise, and the video surveillance system should have off-site video recording, and storage of data. There will be warning signage stating that the property is under video surveillance. The owner of the property will be having monitoring remotely at a professional security service.

While it is not the purpose of the Public Safety Plan to specify equipment, the goal is to spell out functional requirements, so the County sees the intention of the technology, and the design professionals and engineers can specify what is needed. The video surveillance system should be typically a fixed lens, and not pan tilt and zoom. The fixed lens cameras are better quality, and have less maintenance problems. The lens should be in secured casings that are weather proof and vandal resistant. The cameras should night vision capability, because they are being used 24/7. The cameras should be able to use video analytics to make them smart, and observant of unusual events occurring along the perimeter of the building and property.

In addition, the proposed site and building should have:

- Window and glazing in the proposed residential units should occur on all four sides, thus allowing the residents to observe visitors entering from the street into the entrances and parking lots.

- The lighting plan shows the intention to provide excellent illumination to the exterior of the buildings, parking garage and street parking, exterior walkways, public common area spaces, and vehicular entrances for good visibility, identification and accountability.
- Plan for additional lighting at pedestrian entrances and paths of travel, to enhance natural surveillance, and encourage legitimate activity, stranger recognition on major access paths.
- The CPTED goal is to catch any potential landscaping and lighting conflicts, in order to avoid existing or future obstructions, or conflicts to natural or mechanical surveillance, and landscaping and plantings.
- Ensure all surveillance cameras are strategically placed, so they will not be obstructed by the growth of existing, or installation of future landscaping/plantings.
- Design out existing or potential concealment ambush points.
- All exterior building entrances and exits (including service doors), must have unobstructed natural surveillance.
- Any potential vulnerable areas that cannot be covered by electronic monitoring, should be either viewable via natural surveillance, or checked frequently by employees, or designated staff persons.
- Courtyard paths will have video surveillance placed in the position that permits clear viewing of walkway paths of travel. The design of the courtyard pathways do not have chicanes or turns, so this will provide improved visibility, and avoid an ambush, or hiding place.

ASSD's strategy for Citi-Center development is to place video cameras at all access points to the property including the following areas:

- Pedestrian entrances, ingress and egress
- The building common area space amenities

The Video Surveillance plan below shows the sight "cones" of camera views of the courtyard and common area surveillance camera coverage.

VIDEO SURVEILLANCE PLAN



Site Plan showing video surveillance of the courtyard and public paths of travel.

If there is going to be video surveillance on the property, then property management needs signage to create notice to trespassers, or persons looking for an opportunity to steal something, or hurt someone.



The pictures above are examples of posting notice of video coverage of a property.

The use of LED lighting will provide sufficient background lighting for clear resolution of the video surveillance systems. CPTED plays an important role in providing visibility for clear coverage, by mindfully avoiding conflicts of the video cameras lines of sight with overgrown plantings and trees, and careful placement of lighting luminaires to prevent glare into the cameras. The industry standard for resolution is 1080, and the proposed camera system, Axis or [Unifi G3](#), are excellent video management systems.



Surveillance cameras will be used on the perimeter boundaries, and the parking areas, and activity areas, to detect movement and record any activity, in what should otherwise quiet, except for building residents, and their guests.

CPTED Lighting Standards: Natural Surveillance

Perimeter Lighting – The photometric lighting plans are designed so that there is adequate security for the site and parking areas, without the effects of light trespass or light pollution. The Broward County minimum lighting level requirements are 1 FC according to Section 8C-3.d.1. Exterior lighting for apartments shall also comply with City of Pompano Beach Land Development Code, and zoning regulations. Lighting levels around the building should be a minimum of 1 FC maintained lighting is required, and the best type of lighting presently is the source of LED luminaires. Exterior lights around the building may be integrated into motion detection technologies, in order to remain at a minimum lighting level in evening hours, but if motion is detected, then the lights are activated, and or higher levels of light activated. The increased lighting serves as a crime deterrent, and notification to neighbors and cars driving by, that there is unauthorized access to the backyards, since there is a secure perimeter and controlled entrance onto the property.

Lighting levels must be consistent throughout the complex, in the parking lot, around the common use facilities, and building exterior. It is recommended that all external lighting be energy efficient LED fixtures. The nighttime experience should be a consistent level of lighting, without hot and cold spots however, the property should not be lit up like a nuclear flash, proverbially attracting the local “moths” to the light. Building exterior lighting should be shielded, and dark skies compliant (no sky glow or light trespass) luminaire.

The lighting plan will include a comprehensive detailed description of how CPTED lighting goals will be addressed at this site. Lighting that is specified will be vandal resistant, and use motion sensor capabilities, with alert lights over all exterior doors, and overhangs, including garages, storage doors, main entrances, alleyways, and fire exit doors. Security motion sensors are very effective in capturing an intrusion, and creating the perception by the intruder of being discovered, therefore these devices should be utilized strategically in high-risk areas of circulation, such as a building design feature area that has an overhang that would attract loiterers and trespassers, who use these areas for concealment, ambush, sleeping, urinating, etc.

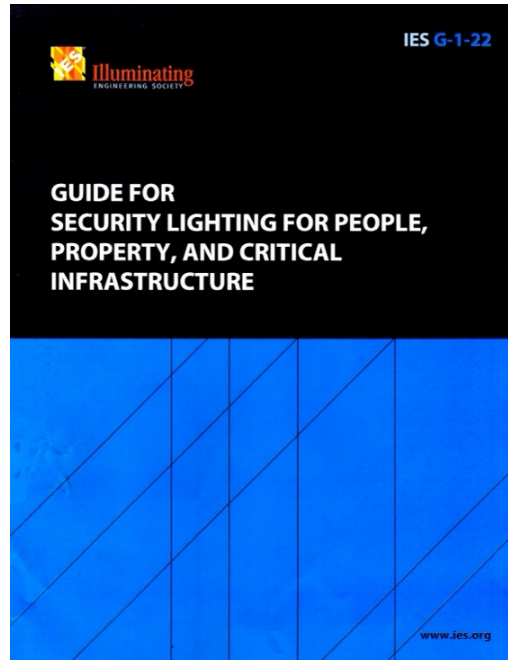
Lighting should be primarily concentrated at gateways, doorways, and windows with an even dispersion of lighting to avoid deep shadows or areas of darkness. To enhance security, the lighting engineer will select bright soft lighting and shielded fixtures, or luminaires, to eliminate glare and undesirable light pollution trespass. Wide dispersion of soft lighting is preferred to spotlights, so as to not blind legitimate property users, and make them vulnerable to a surprise hazard, such as an ambush.

Examples of Acceptable / Unacceptable Lighting Fixtures



The proposed photometric lighting plan will provide adequate lighting for the site and parking areas, without the effects of light trespass or light pollution. The pedestrian walkways and sidewalks shall be a minimum of 1 footcandle (FC) or greater. It will be important to view any illegitimate activity on the site and around the buildings. Therefore, lighting should be uniform and consistent with enough lighting to be able to observe movement by any potential trespassers. The lighting plan will be providing excellent illumination to the exterior of the buildings, the parking lots, the exterior walkways and public spaces, and vehicular entrance for good visibility and accountability. The lighting will support video surveillance, and smart video analytics will be placed around the entranceways into the buildings, stairwells, and lobby foyers.

Lighting levels around the building and common area spaces should be a minimum average of **3 footcandles**; as per the Illumination Engineering Society (IES) G-1-22 Guide for Security Lighting for People, Property, and Critical Infrastructure (2022). The optimal types of lighting presently are LED luminaires.

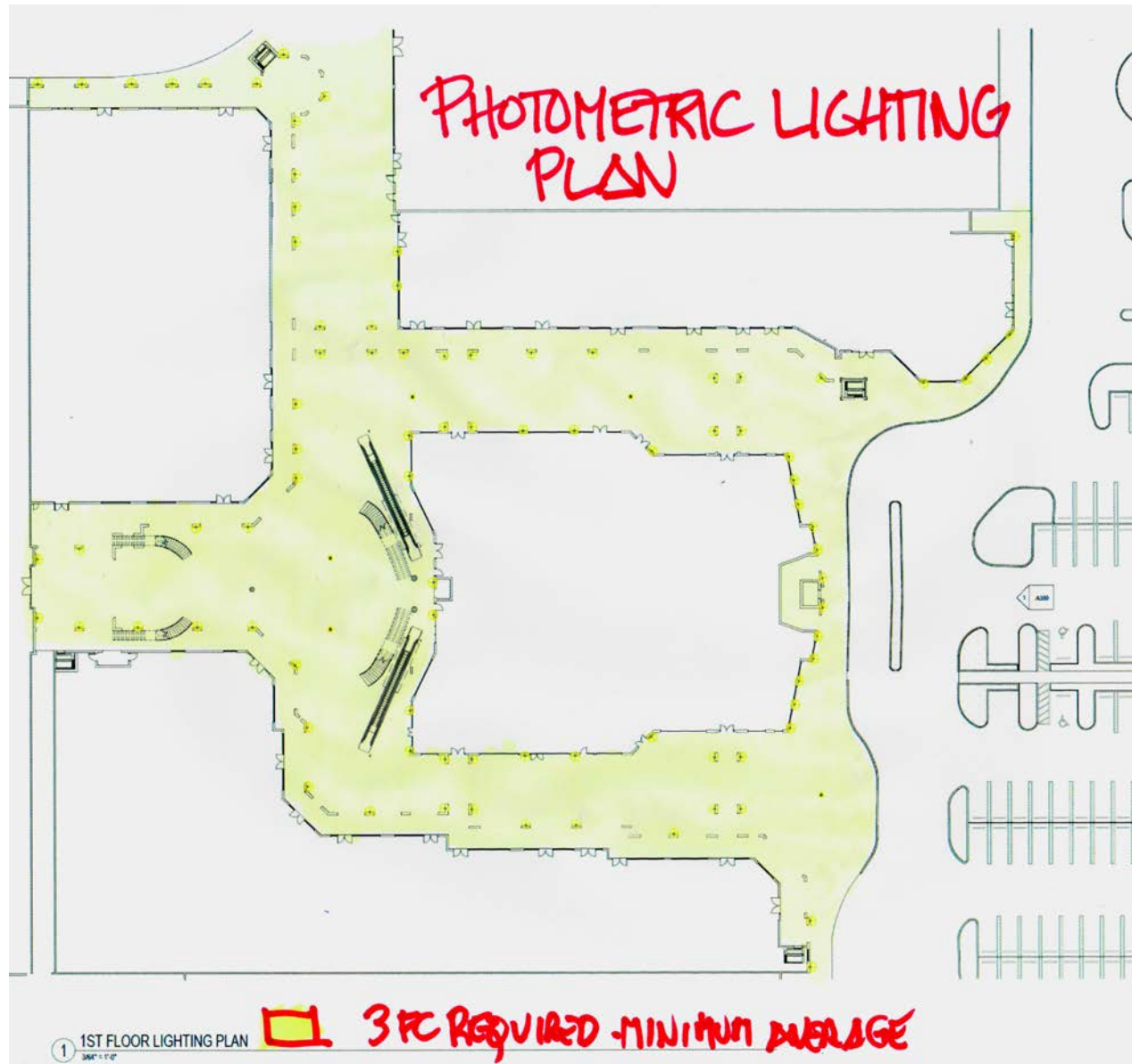


Illumination Engineering Society G-1-22 Security Lighting Guidelines Summary Table.

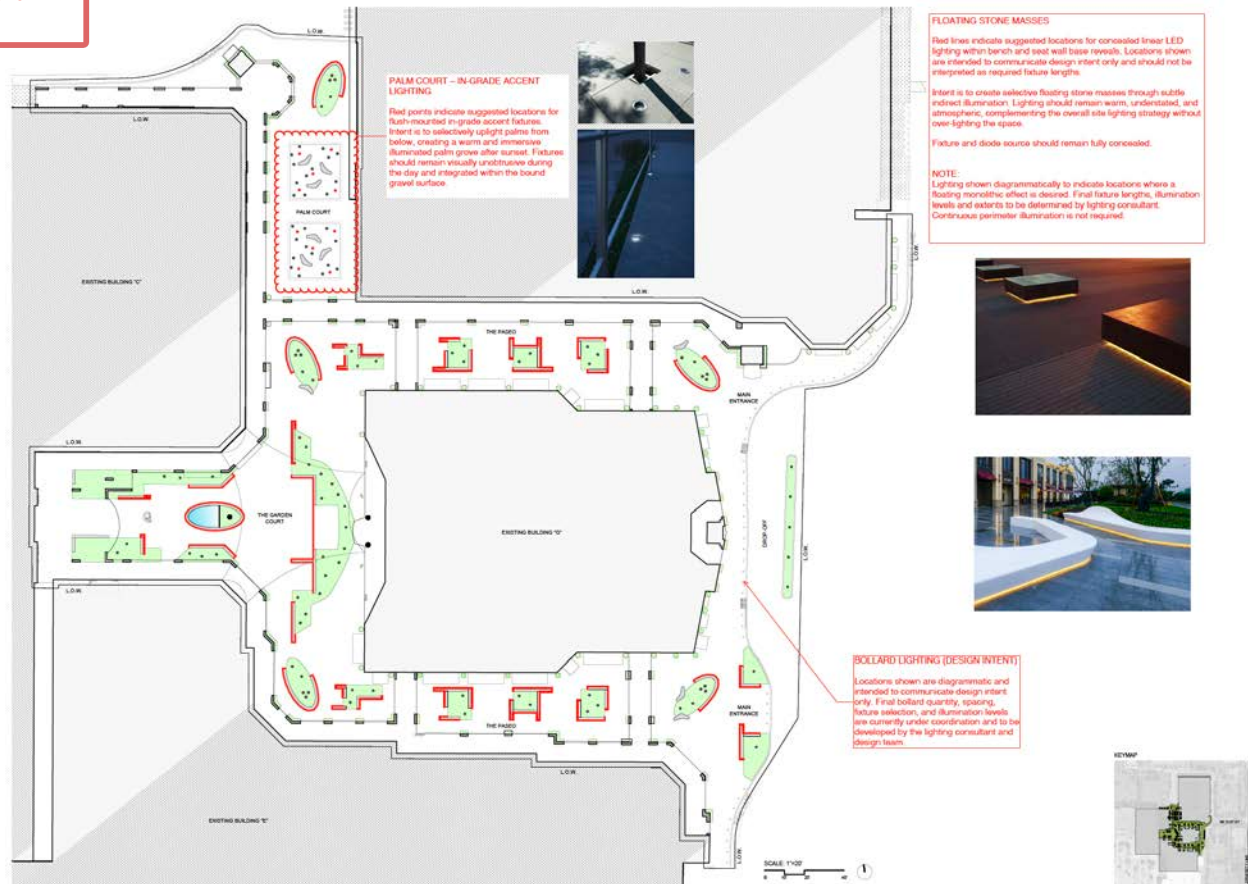
Summary of G-1-22 Recommendations

Location	Average Maintained FC	Average to Minimum ratio	Notes
Parking lots	3 fc pavement 0.6 fc sidewalks, pathways	4:1 4:1	Sec. 8.7
Parking garages	6 fc pavement 10 fc Elevator & stairs	4:1 4:1	Sec. 8.8
Parks & Public Spaces	3 fc Parking areas 1 fc Gathering areas 0.6 fc trails & pathways	4:1 4:1 4:1	Sec. 8.9
Single Family Homes	1 fc exterior doors	4:1	Sec. 8.13

Multi-family units	3 fc common areas 10 fc mailbox area 0.8 fc exterior doors	4:1 3:1 4:1	Sec. 8.14
Senior Living Facilities	50 fc parking garages – day 10 fc parking garages – night 5 fc Exterior walkways 20 fc elevators / stairs	4:1 4:1 3:1 4:1	Sec. 8.15



The photometric lighting plan for the courtyard.



The landscape lighting plan for the courtyard spaces.

In addition, the lighting should:

- The proposed lighting plan includes a comprehensive detailed description in the security narrative plan on how CPTED lighting standards will be addressed at this specific site to meet local code requirements and security best practices.
- Security motion sensors are very effective in capturing an intrusion and creating the perception by the intruder of being discovered, therefore these should be utilized in strategically targeted areas after careful consideration, especially any building design feature area that has an overhang that would attract loiterers and trespassers who use these areas for concealment, ambush, sleeping, urinating, etc.
- Lighting should usually be primarily concentrated at gateways, doorways and windows; it should not over-illuminate or create shadows or sky glow or light pollution.
- To enhance security, use carefully focused bright soft lights with shielded fixtures to eliminate glare, and undesirable light pollution trespass.
- Adequate soft lighting is preferable to spotlights, so as not to 'blind' legitimate users, and make them prone to surprise hazards, such as an ambush. With soft bright lighting the field of vision is greatly extended.



When the lighting plan and the landscape plans are not coordinated, you have very expensive tree lighting. The goal is to stagger the trees and the site lighting to complement each other, and not compete for the same space.

Building Identification - Ensure buildings are clearly identified by street number and building numbers to prevent confusion, disorientation, and unintended access to persons trying to find the building. Street numbers should be plainly visible and legible from the street or road fronting the property. Each building entry should clearly state the unit numbers accessed from that entry. Street numbers should be made of durable materials, preferably reflective or luminous, and unobstructed by foliage.

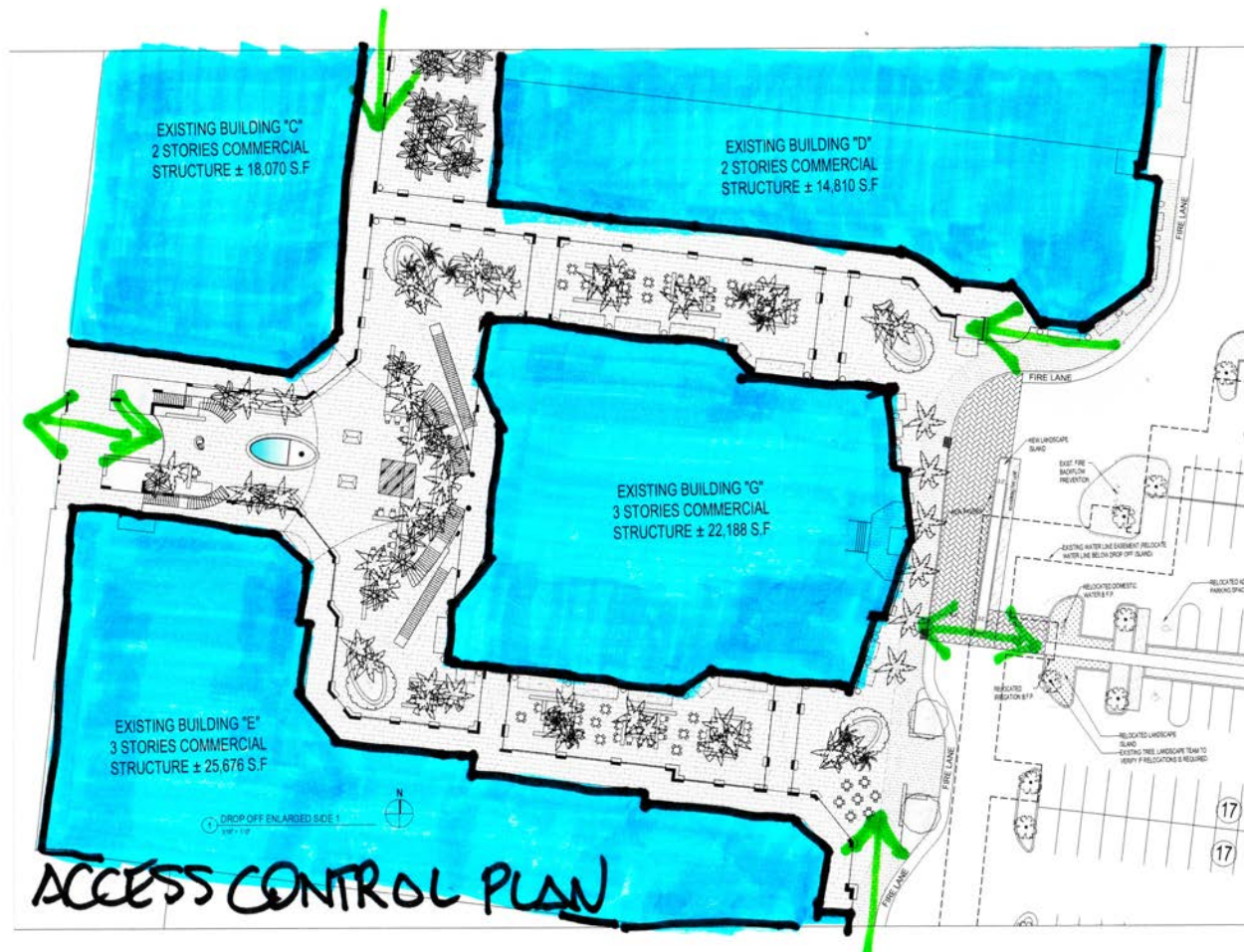


Building number signage should be visible, lighted for evening viewing, and have good color contrast.

CPTED PRINCIPLE #2 NATURAL / MECHANICAL ACCESS CONTROL

The courtyard site is accessed from the adjacent buildings on the site. Once residents are parked in the surface lots, and they can walk to their apartment or commercial office buildings from the parking lot to the resident's respective building, that has access control, and video surveillance.

The CPTED goal is to have pedestrians walk around the building exterior and walk into the courtyards and common area spaces, where they can be observed and monitored. There are no gates or restrictive control devices for the courtyard. It is open for the residents, visitors and public to use.



The access control plan is shown above.

CPTED PRINCIPLE #3 TERRITORIAL REINFORCEMENT/BOUNDARY DEFINITION

The site design is proposing a series of landscaped buffers, low walls, low picket fences, and other CPTED devices to funnel people and cars to the intended openings and desired building entrances. The goal of the perimeter buffer is to deflect persons on the sidewalk to walk around until they access a concrete sidewalk pathway into the property. Pavers, varying in color and texture, will be utilized and identify the private pathways of the building, versus the public sidewalk, further reinforcing the sense of proprietorship and ownership.

TERRITORIALITY PLAN



The territoriality plan is shown above.

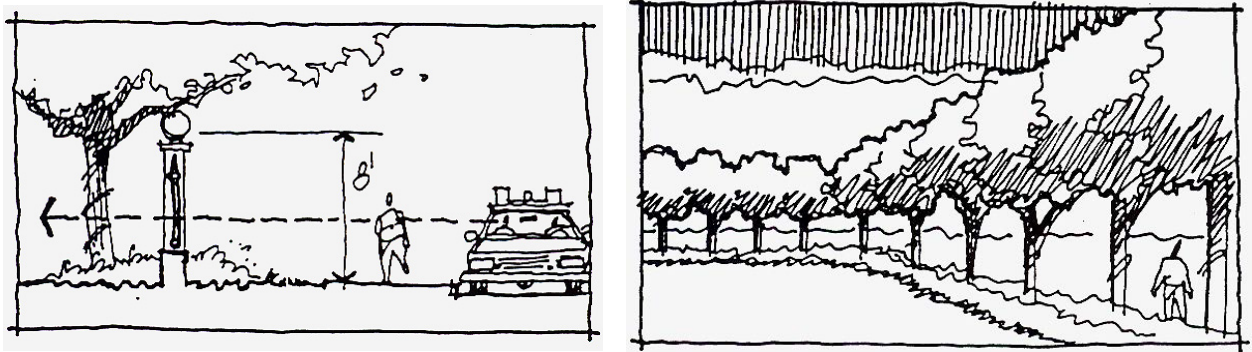
The perimeter boundaries are the buildings and their walls that are surrounding the courtyard. The resident apartments are positioned in a courtyard concept, that uses natural access control for channeling traffic into the buildings, and where the residents can enjoy the benefits of uniform illumination, video surveillance, natural unobstructed visibility from patios and balconies, and clear groundrule signage for establishing legitimate uses and users.

Where plantings are specified along the building exterior, courtyards, paths of travel, etc. the Landscape Architect will design in dense, low-profile, and or harsh thorny type obstructive landscaping in any vulnerable areas, such as under windows, around fencing or walls, remote property lines, as a deterrent to loitering, trespassing, and to deny any concealed staging by unauthorized persons to reduce the opportunity for ambush or potential criminal activity.

Pedestrian safety will be considered on the walking paths, by intermittent placement of trees, pedestrian lighting, street furniture, and anchored planters where appropriate. The leasing office may have some planned planters in front of the glass storefront to protect the building facade from an accidental car crash, or intentional or vehicle ramming attack.

Fencing and Plantings

Natural surveillance is supported on the building perimeter with ground floor plantings and hedges less than 32 inches in height, and mature tree canopies no lower than 8 feet. These parameters will allow a clear zone of natural surveillance for police to be able to see clearly around the perimeter and under the tree canopy to permit unobstructed natural surveillance.



Plantings should be maintained to be no higher than 32 inches off the ground. Tree canopies should be maintained clear under 8 feet, with a tree trunk six inches in diameter or greater. If new saplings are planted, do not mutilate them to comply with the canopy requirement, until they are mature trees with a six-inch diameter trunk or greater, and if the tree canopies are blocking the field of vision.

The sidewalk promenade that enters from roadway will be using Defensible Space principles of security layering, and encourage use by the legitimate users (residents and their assigned approved guests) of the property.



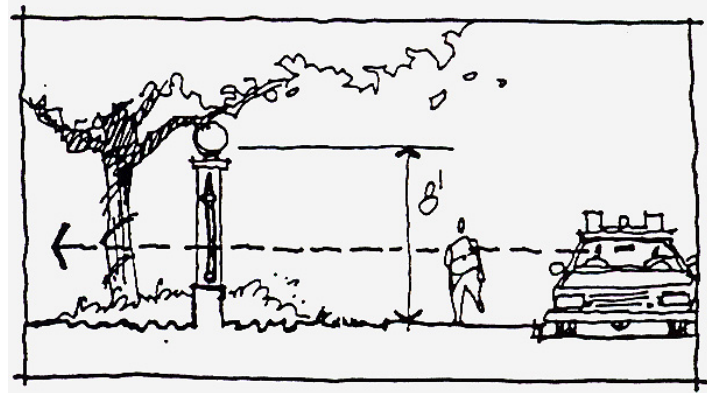
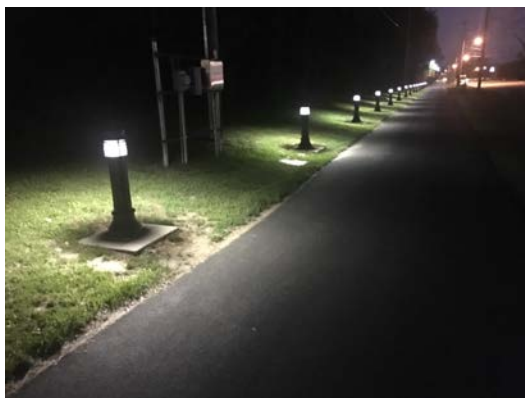
The exterior walls should be treated with graffiti resistant resin to resist potential vandalism attacks.



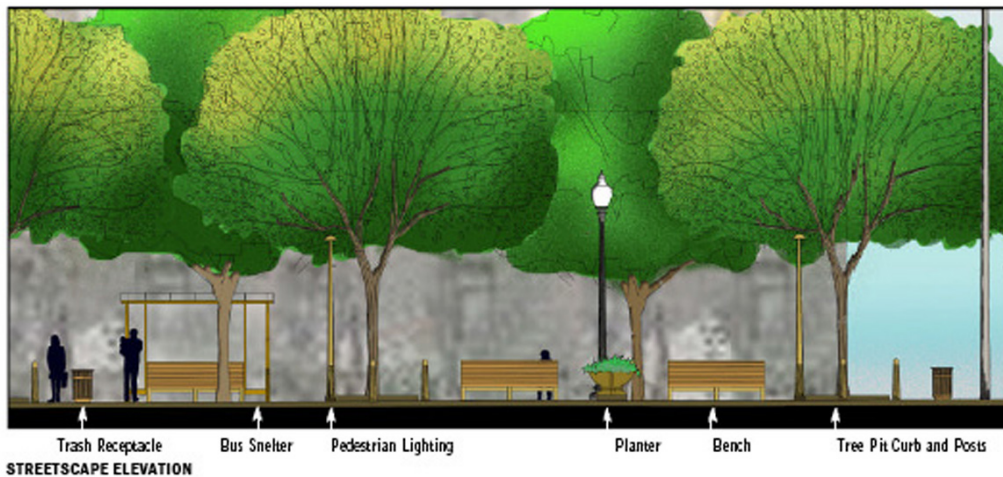
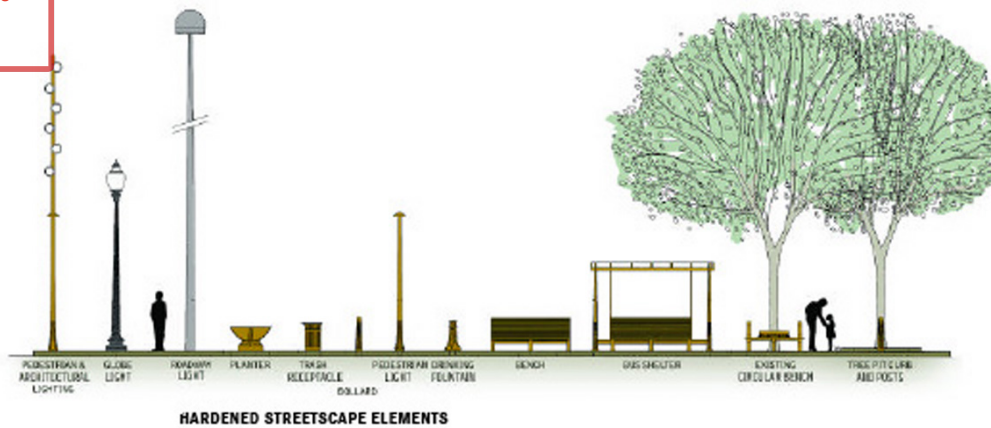
Streetscapes for pedestrian plazas can use streetscape elements to protect pedestrians against vehicle ramming attacks or car accidents.



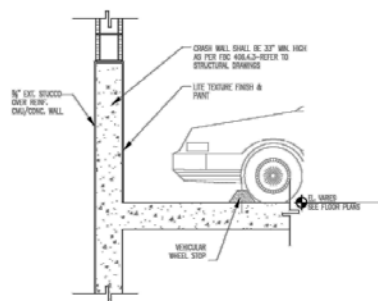
Retractable or removable bollards are used to protect sidewalks and plazas, especially after the Barcelona Las Ramblas attack in 2017.



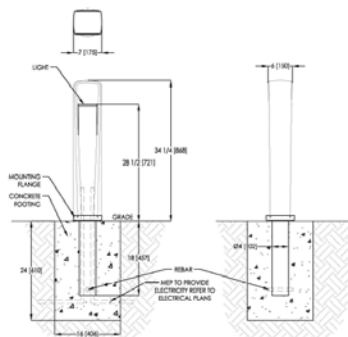
Pedestrian lighting enhances public safety and increases natural surveillance.



The courtyard of Citi-Center needs to be protected from a vehicle ramming incident, whether on purpose or by accident, as this can have a catastrophic impact on the health safety and welfare of the building users. Anti-vehicular ramming devices like bollards, planters, tiger trap level changes, ha-ha walls and arroyos, should be strategically placed at the entrance ways, and sidewalks in an irregular pattern in an effort to dissuade vehicle intrusion in high volume pedestrian areas, or key structural building elements. These devices should be designed to absorb the kinetic energy, or deflect the vehicle to prevent it from rolling and causing continuing damage. Citi-Center shall use bollards, palm trees, and planter walls as protection from a vehicle crashing into the exterior walls.



12 TYPICAL WHEEL STOP DETAIL
SCALE = 3/8\"/>



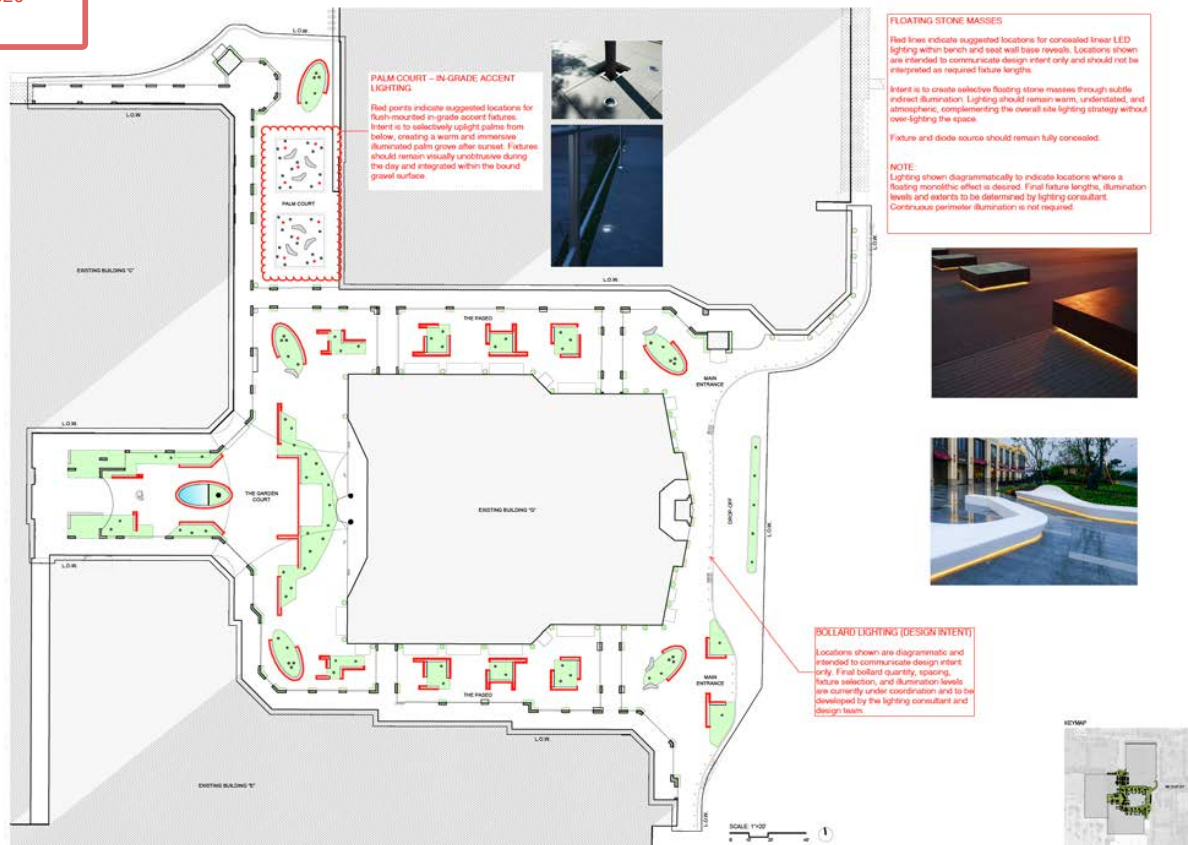
6 STOP BOLLARD EMBEDDED W/ LED LIGHT
SCALE = 1\"/>

The Citi-Center project will include the incorporation of wheel stops, planters, bollards and structural elements to deflect a car crashing into the courtyard. Protection of pedestrians from vehicle ramming accidents along the sidewalks will be accomplished with staggering of mature trees, metal light poles, and anchored planters. These street furniture features should be 'scattered' along entranceways and pedestrian sidewalks in an irregular pattern in an effort to prevent vehicle intrusion in higher volume pedestrian areas. A large heavy obstacle, such as these, can help to deter a vehicle from causing injury to pedestrians and damage to the building.

The Landscape Plans and renderings for Citi-Center are shown below. The planting choices comply with CPTED best practices and standards of care by permitting natural surveillance and illumination over the ground cover, and under the tree canopies. The selection of plantings that are low maintenance, and don't require frequent trimming or pruning is desired. The design goal is to have unobstructed vision from pedestrian paths, with fencing defining the paths of travel and tree canopies, and having ground cover pruned to avoid creating hiding spaces, or places for ambush.



The landscape architectural drawings illustrate the placement of trees, street furniture, water features, and plantings.











The renderings illustrate the clear sight lines and natural surveillance, and legitimate activity support spaces.





In order to protect the plantings and maintain the civility of not having dog droppings in paths of travel, it is very useful and reasonable to install pet pick-up stations for the benefit of residents, guests, employees, etc. Having these pet stations helps with the CPTED goal of good maintenance, reinforcing the sense of pride in ownership, and being

responsible renter. It is recommended that there be a station around the multi-purpose areas. The pet refuse bag stations are currently only around the management office, but more are scheduled to be situated around the property.

Having dog stations in the courtyard area will help prevent the incivility of dog waste where people are walking. Residents and guests will definitely have dogs so preparing for the waste disposal is good planning. Signage with groundrules for dogs, and dog rocks to protect the plantings from urine.



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CPTED PRINCIPLE #4 MAINTENANCE

CPTED Maintenance Strategies include:

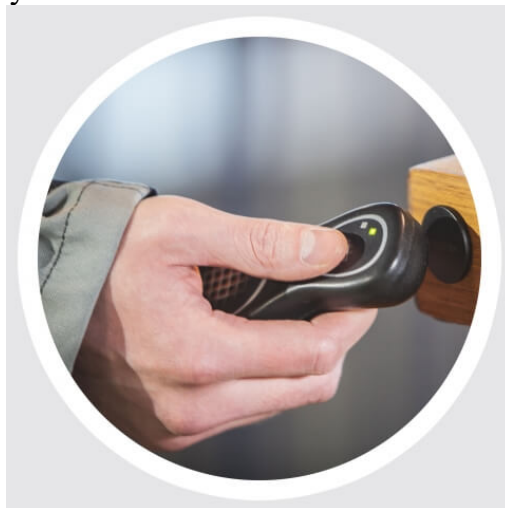
- Mature Tree canopies should be maintained clear under 8 feet, with a tree trunk that is six inches in diameter or greater.

- Ground planting and hedges should be less than 2'-6" feet, and mature tree canopies over 8 feet to allow clear zone of natural surveillance for police to be able to have un-obscured sight around the perimeter and into the property.
- The exterior building walls up to the wainscot (approximately 48" above the finished floor), and public path of travel, should be treated with a graffiti resistant resin to prevent graffiti/tagging vandalism, and facilitate easy cleaning.
- Lighting luminaires will be energy efficient LED fixtures or equivalent, which require little or no maintenance.
- Design in Dense, low-profile and/or harsh thorny like non-obstructive (maximum height 2'-6" feet) landscaping plantings in any vulnerable areas, such as under windows, around fencing or walls, and remote property lines. These climb resistant plantings serve as a deterrent to loitering activity, trespassing, and to deny any concealed staging, and ambush opportunity for potential criminal activity.
- In combination with fencing, the plantings will create a hedge, or buffer, that will deter persons from accessing the resident apartment ground floor windows.
- A maintenance manual will be provided to tenants describing their responsibilities to upkeep their apartments and common area spaces, as well as defining Building Maintenance responsibilities.

CPTED PRINCIPLE #5 MANAGEMENT

CPTED strategies for management's role in CPTED support include:

- Staff will be trained to recognize signs for domestic and workplace violence.
- Property Management will establish a relationship with local police to acquire police incident reports that occur on the property.
- Property Management will keep records of incident reports for at least three years.
- All requests for service repairs and maintenance will be addressed in a timely manner by Property Management.
- The property may choose to use security guard services to engage in roving patrol, and if so, the security patrols can be held accountable of their movements by using a GuardTour system.



CPTED PRINCIPLE #6 LEGITIMATE ACTIVITY SUPPORT

CEPTED strategies for activity support include:

- Groundrules of behavior will be clear and visible, and spell out clearly the rules of legitimate activities on the property, as well as, having the required posted signage for unauthorized access, and trespass.
- Legitimate activity support is increased from having residents, customers and employees on the site, around the clock. This is the strong deterrent to crime, on and around the property. It is intended to have a maintenance person live on site.
- The residents serve as capable guardians of the property, and can challenge trespassers, and call police for quick response.
- Secure bicycle storage along the pedestrian paths in the interior courtyard will provide space to place bikes, without having to have them on balconies or patios. Bike rack areas will be under video surveillance.
- Way-finding signage must be clear and prominently posted in appropriate areas indicating safe directional travel routes, to avoid users from getting confused and wandering into potentially unsafe and dangerous areas.

The Citi-Center courtyard may have secure bike racks planned for. The Citi-Center courtyard and buildings should have a dedicated area for bike racks. Having the secure bike racks provides convenience for residents, and allows for natural and mechanical video surveillance to deter theft or vandalism.



BIKE RACK DETAIL

Signage – Proper signage must state who is the enforcing agency and cite chapter and verse of the state law that is being enforced, as demonstrated above. This kind of signage will be added to the proposed expansion site. It is recommended that additional legally qualified posted warning trespass signage be added on the perimeter fencing, and the new and improved entrances. Groundrules signage is critical for achieving compliant behavior or employees and visitors. In addition, no-trespass signs should cite local ordinance statute, and who is enforcing the trespass (Broward's Sheriff's Department). The Developer will be required submit a Broward Sheriff's Office (BSO) No Trespass Program Affidavit with the application. The property management will be required to post

sufficient BSO No Trespass Signage so that it is easily readable and available at the main entrance, and all sides of the property. No Trespass signs should be securely fastened with robust fasteners at all corners to prevent vandalism or removal.

The new proposed no-trespass signs will be posted on the site perimeter fencing every 100 feet and within the parking lots. Trespassers cannot be successfully arrested and prosecuted if the notice is not properly worded and posted. Posted signs will be at least 18"x 24" consistent with Broward County regulations. No Trespassing signs to be used with proper State Statute references, and enforced by the appropriate law enforcement agency.



No Trespassing signs are to be posted and secured along the perimeter boundaries, using proper State Statute references, and enforced by the appropriate law enforcement agency.





Video surveillance signage should be displayed at conspicuous areas to create notice to the users. There should also be signage that the facility is under video surveillance, which serves as a notice to trespassers and criminals. Groundrules signage is critical for achieving compliant behavior by employees and visitors. Unwanted non-guest parking and vehicles should be discouraged, and no parking tow away signs, will be posted on the boundaries. Groundrules will be clear, and visible, and spell out the rules of legitimate activities on the property, as well as having the required posted signage for unauthorized access and trespass.



Examples of groundrule signage appropriate for the property entrance and parking garage. Groundrules will be clear, and visible, and spell out the rules of legitimate activities on the property, as well as having the required posted signage for unauthorized access and trespass.

The CPTED goal is that signage is clearly visible, easy to read and simple to understand. Use strong colors, standard symbols, and simple graphics for informational signs. Groundrules should reference the State Statute and Section for enforcement, and which agency is responsible for compliance. This applies to parking rules, who can use the facility and when, acceptable and unacceptable behaviors. Provide signage in the parking area advising users to lock their cars. Where exits are closed after hours, ensure this information is indicated at the parking area entrance.

The value of legitimate activity support from having residents living on the site around the clock, serves as the strongest deterrent to crime on and around the property. The apartments, walkways, and clubhouse amenity building will provide opportunities for residents and visitors to observe the environment around them, and report suspicious or loitering activity. It is recommended for this project to utilize a Blue Light warning call systems where appropriate, to assist in reporting of incidents.

This project may utilize a Blue Light warning emergency call systems to assist in reporting of incidents in the focal points of the courtyard. The video surveillance plans illustrate the coverage of the paths of travel, and activity areas.



Posting warning signage is critical for establishing personal responsibility and management liability limits. Blue light intercom video systems enable getting assistance.

Blue light systems are very helpful when needing assistance with emergencies. User's personal vehicles are vulnerable to be burglarized in parking lots, leading to significant property loss, and the theft of personal identification, which has resulted in identity theft fraud. This property is designing CPTED features into the parking areas to reduce this opportunity for crime and loss. Violent Robbery incidents are primarily in parking garages/lots, and have resulted in serious personal injuries and death to persons, customers and employees; therefore, no surveillance camera coverage gaps can exist.

Any publicly accessible seating benches or platforms at Citi-Center should be designed with intermittent railings to deter loitering/ sleeping by vagrants/ trespassers. An example would be to incorporate individual seating on a bench, by including arm bars between designated single seating positions. Large horizontal platforms should incorporate an anti-loitering/ sleeping design feature.

Streetscape amenities should be well defined, with CPTED bench seating with intermittent rails, and have trash containers close by, to facilitate disposal of litter and garbage. Any

Publicly accessible seating benches or platforms should be designed with intermittent railings to deter loitering/ sleeping by vagrants/ and trespassers. An example would be to incorporate individual seating on a bench by including arm bars between designated single seating positions. Large horizontal platforms should incorporate an anti-loitering/ sleeping design features like divots, or beveling.



The benches are clearly intended for seating only, not sleeping or loitering. Seating benches will have intermittent railings to deter persons sleeping on the benches.



Having textured surfaces removes the ability for skateboarders to damage the surface.



An example of damage from skateboarders to an unprotected retaining wall surface.

Wi-Fi Systems - If the building has a Wi-Fi system, it needs to be encrypted and password protected. An open Wi-Fi system will attract non-legitimate users to loiter, and use the open free Wi-Fi.

Water Spickits -All exterior water spickits should have a locking device on it, in order to prevent unauthorized users from using the water, and or hoses for inappropriate or illegitimate uses.



Exterior Electrical Outlets - All exterior electrical sockets should have a locking device placed on a closable cover to prevent unauthorized use by illegitimate users.

Q Zoom



Critical Infrastructure Considerations - All utilities that come into the property, and that tie into the building exterior, should be considered vulnerable from an attack by weather or persons, and should be reasonably secured. Power boxes should have locks on them. Water valves should be chained, and not be easily accessible to the public or residents. Power lines should be inaccessible to any person, other than a FPL lineman. Mechanical and electrical rooms should be secured, and only accessible to building maintenance personnel.

Conclusion:

CPTED principles, performance standards, and strategies have been successfully applied to this housing development. The design development drawings have been reviewed to identify and incorporate CPTED design features, which reduce opportunities for criminal activity to occur. The effectiveness of CPTED is based on the fact that criminals make rational choices about their potential targets. Through use of CPTED principles and strategies, the built environment can be designed and managed to ensure:

- The greater the risk and likelihood of illegitimate users being seen, challenged, or caught; therefore, they are less likely they are to commit a crime at this location.
- The greater the effort required the less likely opportunistic criminals are to commit a crime at this property.
- The lesser the actual or perceived rewards, the less likely persons are to commit a crime at this property.
- Opportunities for criminal activity are minimized by good design, and active management, and empowered residents.

I am very pleased to have had the opportunity to conduct a security and CPTED review of the Citi-Center Courtyard proposed development. It is my belief that the recommendations made will be adopted with a minimum of expense or disruption to the operations and design of this property. The Citi-Center courtyard will be designed to provide an attractive

and safe recreational common area space. With the inclusion of reasonable security accommodations to reduce unauthorized access, and good management, this property should be relatively problem free.

Having a safe recreational common areas space environment is to the benefit of the owners, visitors, and residential community. The Citi-Center Courtyard complies with the standards and best practices of the CPTED review process, and will be a valuable contribution to the City of Pompano Beach.

Respectfully yours,



Randy Atlas Ph.D., FAIA, CPP
Advanced CPTED Certified Practitioner and Instructor